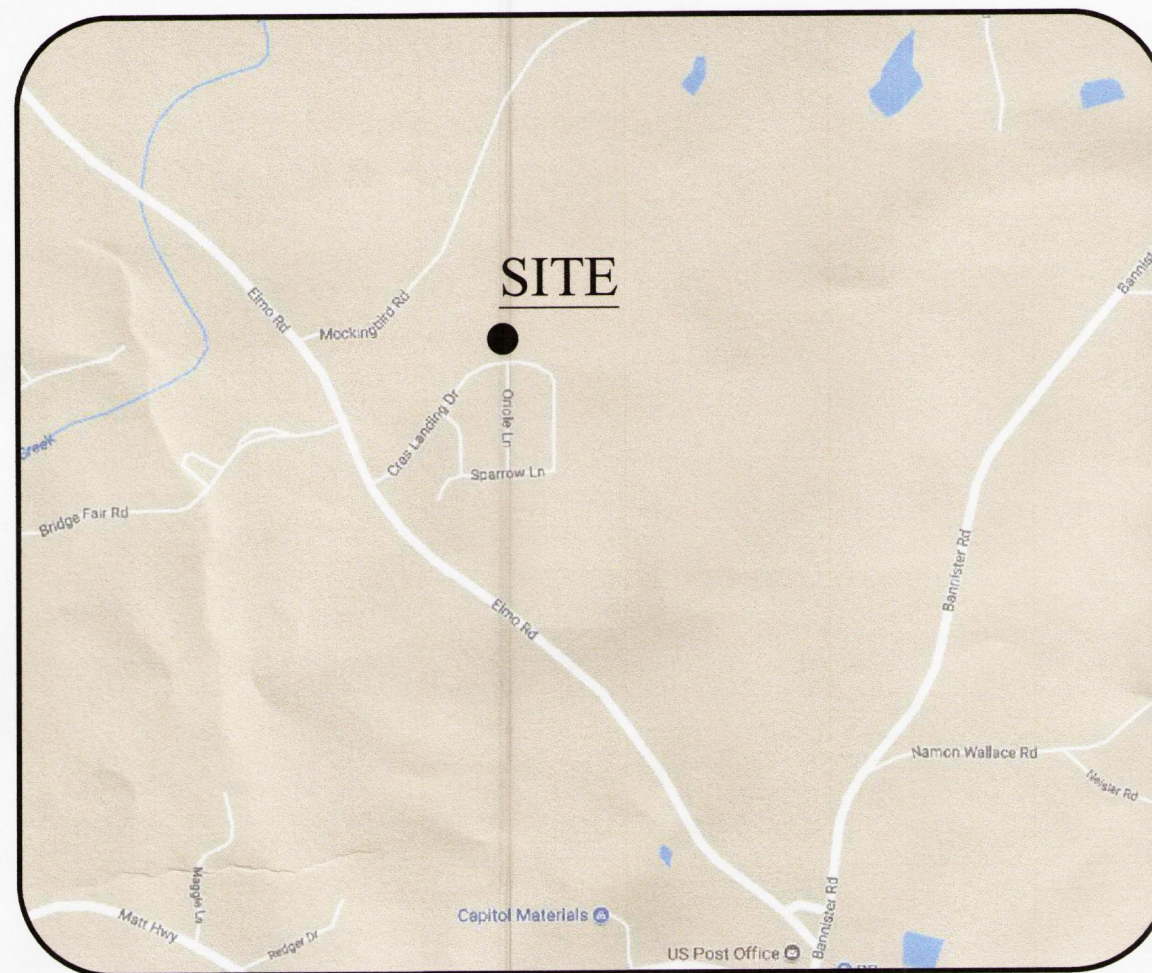
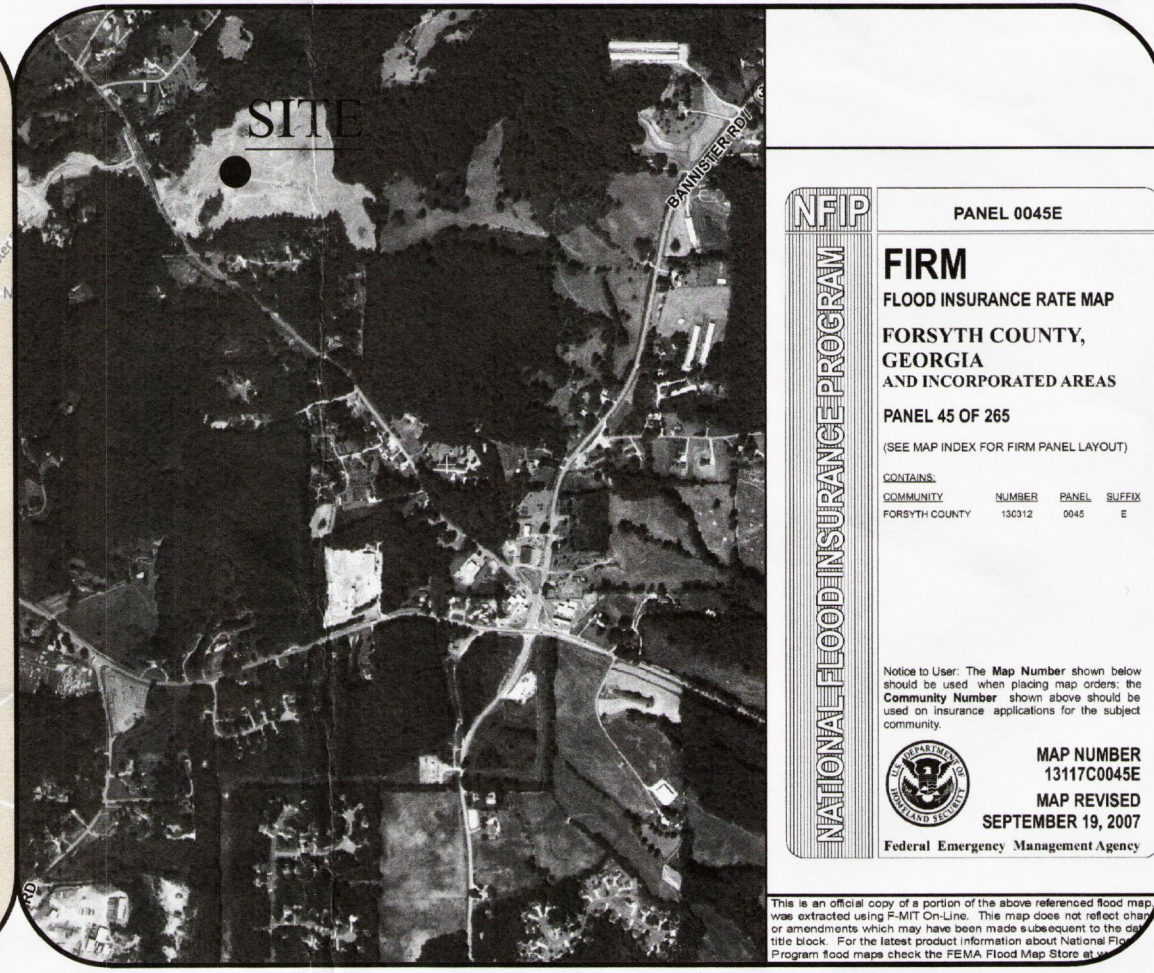


Rev 1 Never Approved
CG180007



Vicinity Map (NTS)



FIRM Panel Vignette (NTS)

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF FORSYTH COUNTY (CITY OF CUMMING), GEORGIA PANEL # 13117C0045E, EFFECTIVE ON 9/19/2007

**ZONING: RES 3
ZA: 2954**

MINIMUM LOT WIDTH: 65 FT
MINIMUM LOT AREA: 9,000 SF

**RES 3 SETBACKS
AS PER PLAT**

FRONT: 20 FT (VARIANCE APPROVED)
SIDE: 10 FT
REAR: 25 FT
BUILDING HEIGHT: 35 FT
MINIMUM F.A.R.: 1,800 SF

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

PRIMARY PERMITTEE / DEVELOPER

GRAND COMMUNITIES, LTD.
2675 PACES FERRY ROAD SE, STE 350
ATLANTA, GEORGIA 30339
(404) 220-9951

24HR CONTACT
JOE HIOTT
(404) 518-2209

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION
(770) 781-2165

GENERAL NOTES:

- TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET
 - BOUNDARY REFERENCE: PB 102, PG 249-269
 - FIELDWORK PERFORMED ON 9/30/2005
 - THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,450 FEET
 - THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 14,350 FEET, AND ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
 - FLOOD HAZARD STATEMENT: THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF CUMMING AS SHOWN ON PANEL # 13117C0045E, EFFECTIVE ON 9/19/2007
 - PROJECT NARRATIVE:
SITE LOCATION:
CRESCENT LANDING
CUMMING, GEORGIA 30028
- CLEAR AND GRUB SITE TO ASSESS EXISTING TOPOGRAPHY FOR FUTURE GRADING AND EROSION CONTROL NEEDS
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
 - DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
 - CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
 - NO NEW STORM DRAIN PIPES ARE PROPOSED
 - THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
 - THIS PROPERTY IS ON OR WITHIN 200 FEET OF WATERS OF THE STATE

ACTIVE N.O.I.

- | | |
|----------------------------------|----------------------------------|
| LOT 58 PERMIT #:
GAR383091-V1 | LOT 64 PERMIT #:
GAR38308D-V1 |
| LOT 59 PERMIT #:
GAR383090-V1 | LOT 65 PERMIT #:
GAR383093-V1 |
| LOT 60 PERMIT #:
GAR383092-V1 | LOT 66 PERMIT #:
GAR383094-V1 |
| LOT 61 PERMIT #:
GAR383096-V1 | LOT 67 PERMIT #:
GAR383099-V1 |
| LOT 62 PERMIT #:
GAR383095-V1 | LOT 68 PERMIT #:
GAR38309B-V1 |
| LOT 63 PERMIT #:
GAR38308F-V1 | LOT 69 PERMIT #:
GAR383098-V1 |

NOTES:

- CONSTRUCTION WASTE AND/OR VEGETATIVE MATERIAL MAY NOT BE BURNED OR BURIED AND MUST BE TAKEN TO A STATE APPROVED LANDFILL.
- PER UDC 104-13 OUTSIDE CONSTRUCTION SHALL BE LIMITED TO THE HOURS OF 7:00 AM TO 7:00 PM MONDAY TO FRIDAY; 8:00 AM TO 6:00 PM SATURDAY; AND THERE WILL BE NO OUTSIDE CONSTRUCTION ON SUNDAY.
- ALL UNDISTURBED BUFFERS SHALL BE IDENTIFIED WITH ORANGE, FOUR FOOT (4") TREE-SAVE FENCING PRIOR TO ANY LAND DISTURBANCE (UDC SEC. 18-10.1).
- NO STRUCTURES, FENCES, OR OTHER OBSTRUCTION MAY BE LOCATED WITHIN A DRAINAGE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL OF THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING.
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY FORSYTH COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. (770) 781-2165
- APPROVAL OF THESE PLANS BY FORSYTH COUNTY IS SUBJECT TO, AND CONTINGENT UPON THE APPLICANT OBTAINING ANY AND ALL NECESSARY APPROVALS FROM ANY AND ALL APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO THE UNITED STATES ARMY CORPS OF ENGINEERS, THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, THE USDA-NRCS, GEORGIA DEPARTMENT OF NATURAL RESOURCES, GEORGIA ENVIRONMENTAL PROTECTION DIVISION, AND THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION.
- MAXIMUM CUT SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL. CONTINUOUS FILL SLOPES TEN (10) FEET IN HEIGHT OR LESS MAY BE 2 HORIZONTAL TO 1 VERTICAL. ALL CONTINUOUS FILL SLOPES THAT EXCEED TEN (10) FEET IN HEIGHT MUST BE 3 HORIZONTAL TO 1 VERTICAL UNLESS: (a) A MECHANICALLY ENGINEERED STABILIZED SLOPE IS APPROVED BY THE DIRECTOR OF ENGINEERING; OR (b) THE DESIGNED AND CONSTRUCTED SLOPES ARE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING.
- THIS PLAN DOES NOT CONSTITUTE AN APPROVAL OF A RETAINING WALL DESIGN.
- A RETAINING WALL DESIGN FOR WALLS 6' OR GREATER, AS MEASURED FROM THE FOOTING, MUST BE SUBMITTED TO THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING PRIOR TO INSTALLATION. ALL WALLS GREATER THAN 4' IN HEIGHT SHALL REQUIRE A FENCE OR HAND RAIL ACROSS THE TOP.
- MODULAR RETAINING WALL DESIGN MUST BE SUBMITTED TO THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING FOR APPROVAL PRIOR TO CONSTRUCTION PLAN APPROVAL. WALL DESIGN MUST INCLUDE DETAILS AND SPECIFICATIONS THAT ARE SITE SPECIFIC AND MUST BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. ALL WALLS GREATER THAN THIRTY (30) INCHES IN HEIGHT SHALL INCLUDE A FENCE OR HANDRAIL ALONG THE TOP.

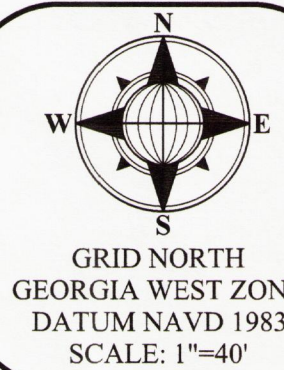
EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST COMMON DEVELOPMENT CONSTRUCTION PROJECTS (Primary and Tertiary Permits)			
Project Name:	City/County:	Address:	Date on Plans:
SWCD: Crescent Landing	Cumming / Forsyth County	6025-6075, 6105-6155 Crescent Landing Drive	10/16/2018
Map Revised:			
SEPTEMBER 19, 2007			

Plan Page #	Included Y/N	TO BE SHOWN ON ES&PC PLAN
1	Y	1. The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. (The completed Checklist must be signed with the ES&PC Plan or the Plan will not be reviewed)
5-6	Y	2. Level II certification number issued by the Commission, signature and seal of the certified design professional. (Signature, seal, and Level II number must be on each sheet pertaining to ES&PC Plan or the Plan will not be reviewed)
N/A	-	3. Limit of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist. (A copy of the written approval by EPD must be attached to the Plan for the Plan to be reviewed)
1	Y	4. The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.
1	Y	5. Provide the name, address and phone number of the primary permittee or tertiary permittee.
1	Y	6. Note total and disturbed acreage of the project or phase under construction.
5-6	Y	7. Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
All	Y	8. Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
7	Y	9. Description of the nature of construction activity.
1	Y	10. Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.
4-6	Y	11. Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.
5-8	Y	12. Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on page 18 of the permit.
7	Y	13. Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on page 17 & 18 of the permit.
7	Y	14. Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
7	Y	15. Clearly note the statement that "No-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."
N/A	-	16. Provide a description of any buffer encroachments and indicate whether a buffer variance is required.
7	Y	17. Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional."
7	Y	18. Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit."
7	Y	19. Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."

- | | | | |
|----|---|-----|---|
| 20 | Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source." | 5-6 | Y |
| 21 | Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding." | N/A | - |
| 22 | Indication that the applicable portion of the primary permittees ES&PC Plan is to be provided to each secondary permittee prior to the secondary conducting any construction activity and that each secondary shall sign the Plan or portion of the Plan applicable to their site. List the names and addresses of all secondary permittees." | N/A | - |
| 23 | Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as any portion of an Impaired Stream Segment, must comply with Part III. C. of the Permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment." | 4-6 | Y |
| 24 | If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in item 23 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan." | 4-6 | Y |
| 25 | BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited. | N/A | - |
| 26 | Provide BMPs for the remediation of all petroleum spills and leaks. | N/A | - |
| 27 | Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed. | N/A | - |
| 28 | Description of the practices that will be used to reduce the pollutants in storm water discharges. | 4 | Y |
| 29 | Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization). | 5-6 | Y |
| 30 | Provide complete requirements of inspections and record keeping by the primary permittee or tertiary permittee. | 5 | Y |
| 31 | Provide complete requirements of sampling frequency and reporting of sampling results." | | |
| 32 | Provide complete details for retention of records as per Part IV.F. of the permit. | | |
| 33 | Description of analytical methods to be used to collect and analyze the samples from each location." | | |
| 34 | Appendix B rationale for NTU values at all outfall sampling points where applicable." | | |
| 35 | Delineate all sampling locations if applicable, perennial and intermittent streams and other water bodies into which storm water is discharged." | 5-6 | Y |
| 36 | A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the plan may combine all of the BMPs into a single phase. | 8 | Y |
| 37 | Plan addresses BMPs for all phases of common development including individual building lots and out-parcels, etc. regardless of who owns or operates the individual sites. Include a typical and any situational lots applicable. | 8 | Y |
| 38 | Graphic scale and North arrow. | 4-6 | Y |

*This requirement of the Common Development permit is not applicable to Tertiary Permittees with a Plan(s) for a typical individual lot(s), if the total land disturbance within the construction site is less than five (5) acres and the total land disturbance within each individual lot is less than one (1) acre.
If applicable, the * checklist item would be N/A.

Effective January 1, 2018



DATE	REVISION	NO.
		1
		2
		3
		4
		5
		6
		7
		8
		9
		10
		11
		12

LAND DISTURBANCE PLAN

PREPARED FOR: GRAND COMMUNITIES,
LOTS 58-69, CRESCENT LANDING SUBDIVISION
LAND LOT 266 & 267, 3RD DISTRICT, 1ST SECTION
CRESCENT LANDING
CUMMING, GEORGIA 30028
DATE 10/16/2018



"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

10/17/18
GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RE-CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

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THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTY OF THE SURVEYOR AND MAY NOT BE REPRODUCED, PUBLISHED OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE DESIGN PROFESSIONAL.

TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET
BOUNDARY REFERENCE: PB 102, PG 249-269
FIELDWORK PERFORMED ON 9/30/2005

THIS PLAT HAS BEEN PREPARED USING A LEICA TC-800 TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 14,350 FEET, AND ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE

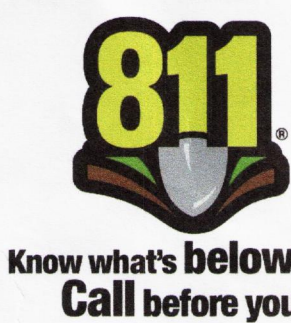
LEGEND:

- | | | |
|----------------------------------|-------------|-----------------------|
| PROPERTY CORNER FOUND (AS NOTED) | POWER METER | TELEPHONE BOX |
| 12" REBAR WITH CAP SET LSP 439 | POWER BOX | W- WATER LINE |
| R/W MONUMENT | A/C UNIT | OVERHEAD UTILITY LINE |
| FIRE HYDRANT | LIGHT POLE | S- SEWER LINE |
| WATER METER | GUY WIRE | G- GAS LINE |
| WATER VALVE | MANHOLE | C- CABLE LINE |
| POWER POLE | CLEAN OUT | T- TELEPHONE LINE |
| YARD DRAINS | GAS METER | X- FENCE LINE |
| SIGN | GAS VALVE | SF- SILT FENCE |
| | CABLE BOX | O- TREE PROTECTION |

- | | | | |
|--------|-----------------------|------------|--------------------------|
| -HB | HAY BALES | CONC | CONCRETE |
| -FW | FLOW WELL LINE | EOP | EDGE OF PAVEMENT |
| N/F | NOW OR FORMERLY | -02- | CONTOUR LINE |
| R/W | RIGHT-OF-WAY | F.F.E. | FINISH FLOOR ELEVATION |
| BSL | BUILDING SETBACK LINE | B.F.E. | BASEMENT FLOOR ELEVATION |
| CNTL | CANTILEVER | G.F.E. | GARAGE FLOOR ELEVATION |
| CR.Z | CRITICAL ROOT ZONE | 1066.9 | GROUND ELEVATION |
| S.R.P | STRUCTURAL ROOT PLATE | 1038.69 | SURFACE ELEVATION |
| (TYP.) | TYPICAL | TOP 1066.0 | TOP OF WALL ELEVATION |
| L.L. | LAND LOT | BTW 1066.0 | BOTTOM OF WALL ELEVATION |

TREE LEGEND

- | |
|-----------------|
| HARDWOOD TREE |
| PINE TREE |
| X TO BE REMOVED |



BOUNDARY zone, inc.
SURVEYING ♦ LANDSCAPE ARCHITECTURE ♦ LAND PLANNING
WWW.BOUNDARYZONE.COM ♦ (770) 271-5772 ♦ (919) 363-9226

BILFORD
4195 SOUTH LEE STREET, SUITE 1
BILFORD, GEORGIA 30518
ATLANTA
235 PEACHTREE STREET NE, SUITE 400
ATLANTA, GEORGIA 30303
MARIETTA
1870 THE EXCHANGE, SUITE 100
MARIETTA, GA 30039
RALEIGH
2205-C CANNON DRIVE, APEX
NORTH CAROLINA 27523

PROJECT
18686.50

SHEET
1 OF 8

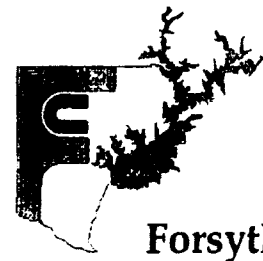


EXHIBIT B



Forsyth County Department of Planning and Development

PLANNING • BUILDING INSPECTIONS • BUSINESS LICENSE

DATE: September 14, 2004
TO: Forsyth County Board of Commissioners
FROM: Forsyth County Planning Commission
RE: Recommendation of Rezoning Application
Zoning Application Number: #2954
Application Name: JOHN PEARSON
Rezoned from A1 Use District to RES-3
Tax Map: 118 Parcel Numbers: 025, 046

As a result of the meeting held on August 31, 2004, the Forsyth County Planning Commission recommends **APPROVAL WITH CONDITIONS** on the above applicant's request.

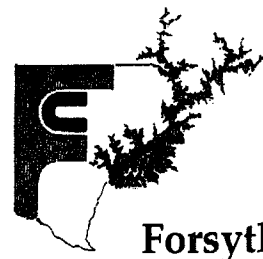
REASONS FOR RECOMMENDATION:

This zoning does not conform with the Comprehensive Plan of Forsyth County but the information presented shows that this rezoning is justified.

CONDITIONS:

- All streams shall have a minimum 50 foot undisturbed buffer and 75 foot impervious setback measured from the top of the bank. If federal, state or local law requires a greater buffer and/or impervious setback, such as buffers required by the Part V Criteria, the greater buffer and impervious setback shall apply.
- The development must meet fire flows of 750 gpm, or irrigation demands, whichever is greater. All improvements to the County water and sewer systems that are required to serve this development, as determined by the Forsyth County Water and Sewer Department, shall be designed and constructed at the developer's expense.
- Any gravity sewer lines installed must be sized to serve the entire basin. Line sizes must be in accordance with the Forsyth County Sewer Master Plan. In areas of the project where public sewer is not installed, the developer shall provide a separate sewer easement (permanent and construction easement) for future installation of public sewer, in all areas

110 EAST MAIN STREET • SUITE 100 • CUMMING, GEORGIA 30040 • (770) 781-2115 • FAX (770) 781-2197



Forsyth County Department of Planning and Development

PLANNING • BUILDING INSPECTIONS • BUSINESS LICENSE



June 20, 2006

Mockingbird Partners, LLC
Attn: John Pearson
4405 Canton Highway
Cumming, GA 30040

Dear Mr. Pearson:

RE: ZA# 2954 (AZ060010), Amendment of zoning conditions and variance to UDC, Ch. 18-5.15

Please be advised that the Board of Commissioners amended the zoning conditions placed on ZA# 2954 and approved a variance to the Forsyth County Unified Development Code, Chapter 18-5.15.

The conditions now read as follows:

- Except as provided in Zoning Condition #15, all streams shall have a minimum 50 foot undisturbed buffer and 75 foot impervious setback measured from the top of the bank. If federal, state or local law requires a greater buffer or impervious setback, such as buffers required by the Part V Criteria, the greater buffer and impervious setback shall apply, unless a variance is granted thereto by a governmental authority having jurisdiction.
- The development must meet fire flows of 750 gpm, or irrigation demands, whichever is greater. All improvements to the County water and sewer systems that are required to serve this development, as determined by the Forsyth County Water and Sewer Department, shall be designed and constructed at the expense of the developer.
- Any gravity sewer lines installed to serve this development will be sized to serve the entire basin. Line sizes and materials must be in accordance with the Forsyth County Sewer Master Plan. In areas of the project where public sewer is not installed, the developer shall provide a separate sewer easement (permanent and construction easement) for future installation of public sewer, in all areas designated by the Department or by the Forsyth County Sewer Master Plan.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS
BEFORE THE BEGINNING PHASE OF CONSTRUCTION
(770) 781-2165

designated by the Department or by the Forsyth County Sewer Master Plan.

- If road widening is required as part of the project, such as addition of a left turn lane or deceleration lane, any necessary water main relocation (as determined by Forsyth County) will be done at the developer's expense.
- All improvements shall conform to Forsyth County Construction Standards and Specifications, latest edition.
- Developer shall dedicate right of way necessary to construct required improvements on Mockingbird Road.
- Developer shall construct a deceleration lane on Elmo Road.
- Developer shall construct improvements on Mockingbird Road as required by Department of Engineering based on final configuration of site plan.
- Developer shall comply with Ordinance 75, Stormwater Management.
- Show all flood plain on site plan and comply with Ordinance 55, Flood Damage Prevention. There shall be no encroachment in flood plain except as approved by Department of Engineering.
- Developer shall have all jurisdictional waters identified and shown on site plan. There shall be no encroachment in these areas except as permitted by Corps of Engineers.
- All utilities must be underground.
- There shall be a maximum density of 2.2 units per acre with a maximum of 156 lots.
- There shall be no mass grading in the project.
- The project shall be on sewer. No land disturbance permit shall be issued until sewer capacity is available to service the entire project.
- There shall be a twenty-five (25) foot buffer and an additional twenty-five foot building setback around the perimeter of the project. The buffer shall be undisturbed in any area that is visually impervious and shall be planted in any area that is not visually impervious. This planting will consist of evergreens with no more than 25% of one variety. In any area where mature trees are located planting shall incorporate said trees. Suggested plantings shall be overseen by the county arborist.
- There shall be a fifty (50) foot undisturbed buffer measured from the top of the bank along all streams.
- Exterior lighting fixtures shall be of the box type and situated so that light is directed only

downward. Fixtures shall be no more than fifteen (15) feet high and shall be designed so as to minimize light spillage to not more than 1 foot candle along the boundary of the property.

- There shall be a landscaped monument type sign, made of brick or stone, at the entrance of the development.
- All houses shall have a minimum of 1,800 square feet of heated floor space, exclusive of basements, garages and porches.
- Each unit shall have an enclosed two-car garage.
- There shall be an amenities package located in the interior of the property consisting of 1 pool, an open pavilion with changing area and a children's play area with play equipment made of pressure treated timbers.
- Membership in a homeowners association shall be required for the maintenance of the landscaped entrance area, amenity area and common fences.
- The developer shall use a variety of techniques to avoid the monotonous appearance of identical homes. Such techniques may employ among others the use of differing front elevations, architectural styles, building exteriors or other techniques to provide a more pleasing appearance to the subdivision. There shall be no vinyl siding.
- A six foot tall chain link fence will be constructed along the property owned by Randall Day. The fence will be placed on the 25 foot buffer and will extend from the creek at the southern boundary of the Day property to the existing fence at the northern boundary of the Day property. The fence will be maintained by the Homeowners Association. If no structures are built on the property North of the Northern most creek, a fence will not be required from the Northern most creek to the Northern property line.
- A six foot tall privacy fence will be constructed along the property owned by Tony and Sharon Arthur. The decorative side shall be facing the Arthur property. The fence will be maintained by the Homeowners Association.
- There shall be no entrance to the subdivision on Mockingbird Road.
- Final site plan to be approved by Forsyth County Commissioner, District 4.

Sincerely,

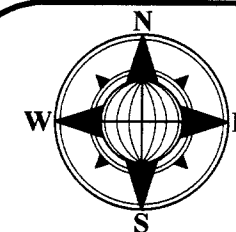
Michael Smith
Secretary, Forsyth County Planning Commission
cc: County Administrator

- There shall be a landscaped monument type sign, made of brick or stone, at the entrance of the development.
- All houses shall have a minimum of 1800 square feet of heated floor space, exclusive of basements, garages and porches.
- Each unit shall have an enclosed two-car garage.
- There shall be an amenities package located in the interior of the property consisting of one (1) pool, an open pavilion with changing area and a children's play area with play equipment made of pressure treated timbers.
- Membership in a homeowners association shall be required for the maintenance of the landscaped entrance area, amenity area and common fences.
- The developer shall use a variety of techniques to avoid the monotonous appearance of identical homes. Such techniques may employ among others the use of differing front elevations, architectural styles, building exteriors or other techniques to provide a more pleasing appearance to the subdivision. There shall be no vinyl siding.
- A six foot tall chain link fence will be constructed along the property owned by Randall Day. The fence will be placed on the 25 foot buffer and will extend from the creek at the southern boundary of the Day property to the existing fence at the northern boundary of the Day property. The fence will be maintained by the Homeowners Association. If no structures are built on the property North of the Northern most creek, a fence will not be required from the Northern most creek to the Northern property line.
- There shall be no entrance to the subdivision on Mockingbird Road.
- A 50' buffer will be provided along the boundary of the subject property with the tax parcel 118-051.
- A four board fence will be placed on the property line between the subject property and the Andersons, the Ginals and the Grogans as an improvement to the existing livestock fence. The fence will be a standard farm height with 2 by 4 mesh backing and a single strand of barbed wire on the top.

This action was taken at their regular meeting on Thursday, June 1, 2006.

If you have any questions, please call.

Sincerely,
John Chance
John Chance
Director of Planning & Development
JC:lk



DATE

REVISION

NO.

ZONING CONDITIONS
PREPARED FOR: GRAND COMMUNITIES,
LOTS 58-09, CRESCENT LANDING SUBDIVISION
LAND LOT 266 & 267, 3RD DISTRICT, 1ST SECTION
CRESCENT LANDING
CUMMING, GEORGIA 30028
DATE 10/16/2018

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A
CURRENT TITLE COMMITMENT. EASEMENTS AND
ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN
THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE
PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT
EXTEND TO ANY UNNAMED PERSON WITHOUT A
RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

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TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET
BOUNDARY REFERENCE: PB 102, PG 249-269
FIELDWORK PERFORMED ON 9/30/2005

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS
FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,450 FEET

THIS PLAT HAS BEEN PREPARED USING A
LEICA TC-800 TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A
CLOSURE PRECISION OF ONE FOOT IN 143,50 FEET, AND ANGULAR
ERROR OF 65 SECONDS PER ANGLE POINT, AND WAS ADJUSTED
USING COMPASS RULE

LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP
- SET LSP# 439
- RAW MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN

- POWER METER
- A/C UNIT
- LIGHT POLE
- GLUY WIRE
- MANHOLE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- GAS METER
- GAS VALVE
- CABLE BOX

- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION

- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE
- TYPICAL
- LAND LOT

- CONC. CONCRETE
- EDGE OF PAVEMENT
- CONTOUR LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- G.F.E. GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION

- TOP OF FOOTER ELEVATION
- SILT FENCE
- DRAINAGE ARROW

TREE LEGEND

- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED

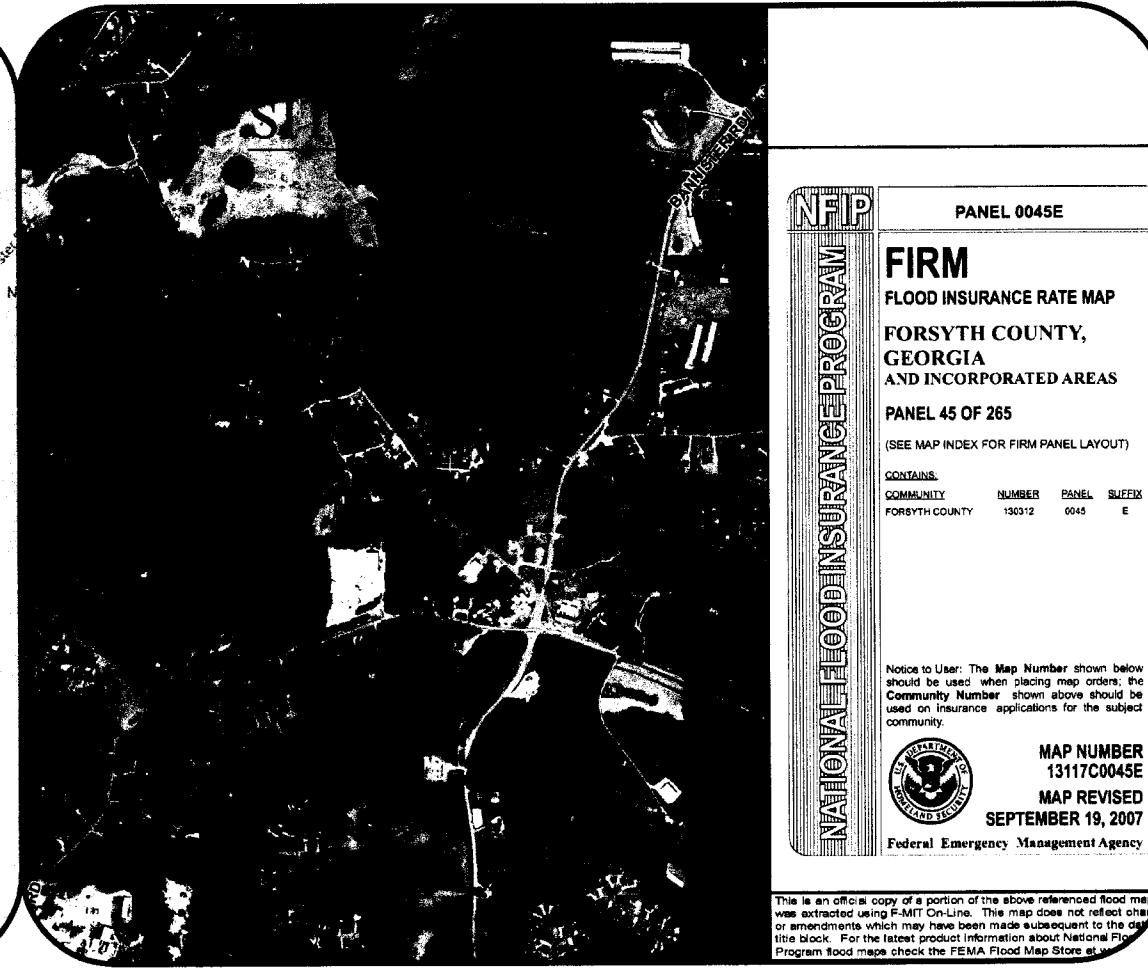
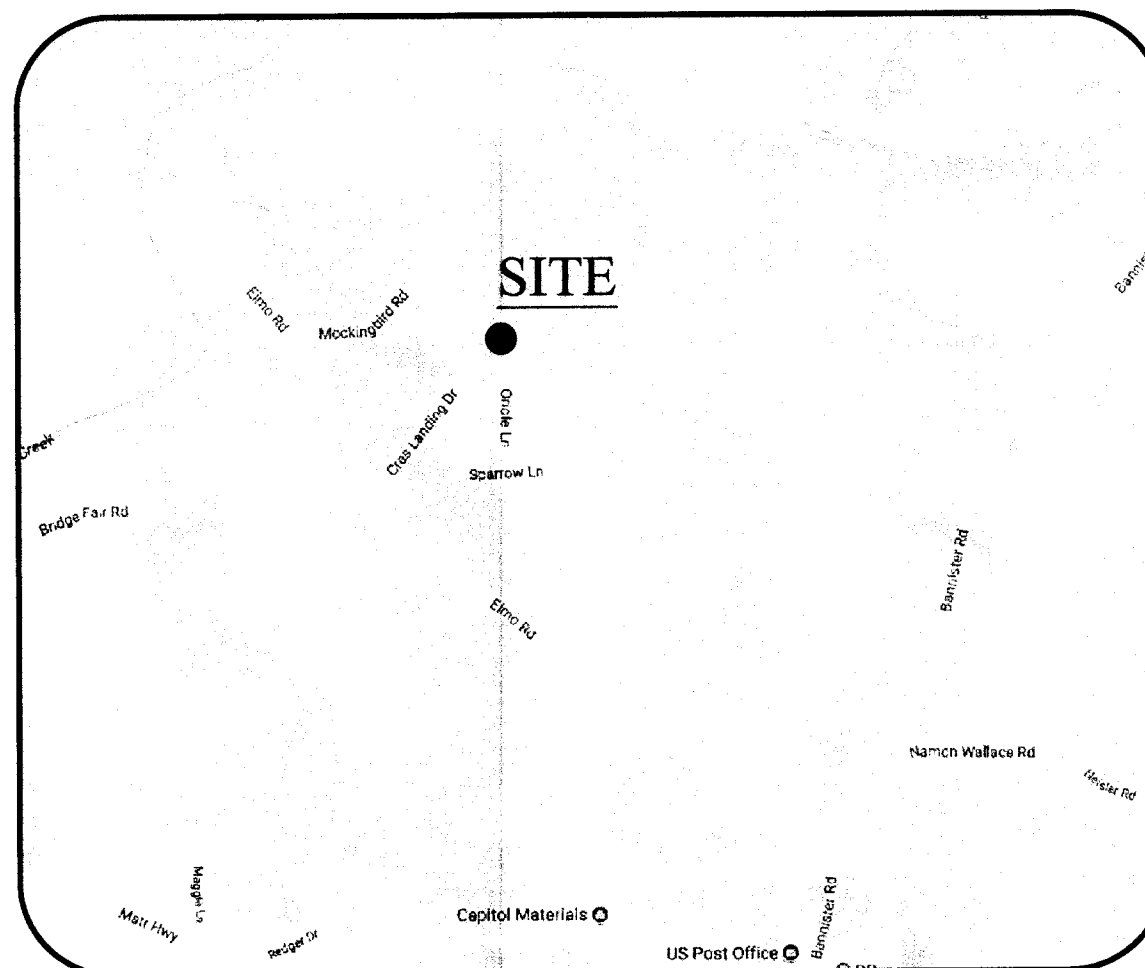


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4195 SOUTH LEE STREET, SUITE 1
BUFORD, GEORGIA 30518
ATLANTA
1100 PEACHTREE STREET NE, SUITE 200
ATLANTA, GEORGIA 30309
KENNESAW
975 COBB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144
RALEIGH
8024 GLENWOOD AVENUE, SUITE 109
RALEIGH, NORTH CAROLINA 27612

PROJECT
18686.50
SHEET
2 OF 8



GENERAL NOTES:

- TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET
- BOUNDARY REFERENCE: PB 102, PG 249-269
- FIELDWORK PERFORMED ON 9/30/2005
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,450 FEET
- THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 14,350 FEET, AND ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE
- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF CUMMING AS SHOWN ON PANEL # 13117C0045E, EFFECTIVE ON 9/19/2007
- PROJECT NARRATIVE:
SITE LOCATION:
CRESCENT LANDING
CUMMING, GEORGIA 30028

CLEAR AND GRUB SITE TO ASSESS EXISTING TOPOGRAPHY FOR FUTURE GRADING AND EROSION CONTROL NEEDS
FOR FUTURE GRADING AND EROSION CONTROL NEEDS
SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
NO NEW STORM DRAIN PIPES ARE PROPOSED
THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
THIS PROPERTY IS ON OR WITHIN 200 FEET OF WATERS OF THE STATE

CURVE TABLE				
CURVE	BEARING	RADIUS	ARC	CHORD
C1	S 40°50'24" W	385.00'	49.51'	49.47'
C2	S 49°33'17" W	385.00'	67.61'	67.52'
C3	S 59°37'00" W	385.00'	67.61'	67.52'
C4	S 69°40'43" W	385.00'	67.61'	67.52'
C5	S 79°44'25" W	385.00'	67.61'	67.52'
C6	S 87°16'13" W	385.00'	33.58'	56.61'
C7	N 88°19'16" W	250.00'	33.58'	16.66'
C8	N 78°58'00" W	250.00'	64.97'	64.79'
C9	N 65°48'28" W	250.00'	49.86'	49.78'
C10	N 55°20'27" W	125.00'	20.74'	20.71'
C11	N 36°50'14" W	125.00'	60.00'	59.43'
C12	N 11°39'30" W	125.00'	49.86'	49.53'

LINE TABLE		
LINE	LENGTH	BEARING
L1	19.42'	S 37°09'22" W
L2	36.75'	S 89°46'09" W
L3	54.33'	S 89°46'09" W
L4	16.60'	N 60°05'38" W
L5	47.19'	N 60°05'38" W
L6	2.19'	N 00°13'51" W

THERE ARE NO SUBSTANTIAL CHANGES TO THE DRAINAGE BASINS OR IMPERVIOUS SURFACES FROM THE APPROVED PHASE 1 AS-BUILT STORMWATER REPORT

Vicinity Map^(NTS)

ZONING: RES 3
ZA: 2954

MINIMUM LOT WIDTH: 65 FT
MINIMUM LOT AREA: 9,000 SF

RES 3 SETBACKS
AS PER PLAT

FRONT: 20 FT (VARIANCE APPROVED)
SIDE: 10 FT
REAR: 25 FT
BUILDING HEIGHT: 35 FT
MINIMUM F.A.R.: 1,800 SF

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSION REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

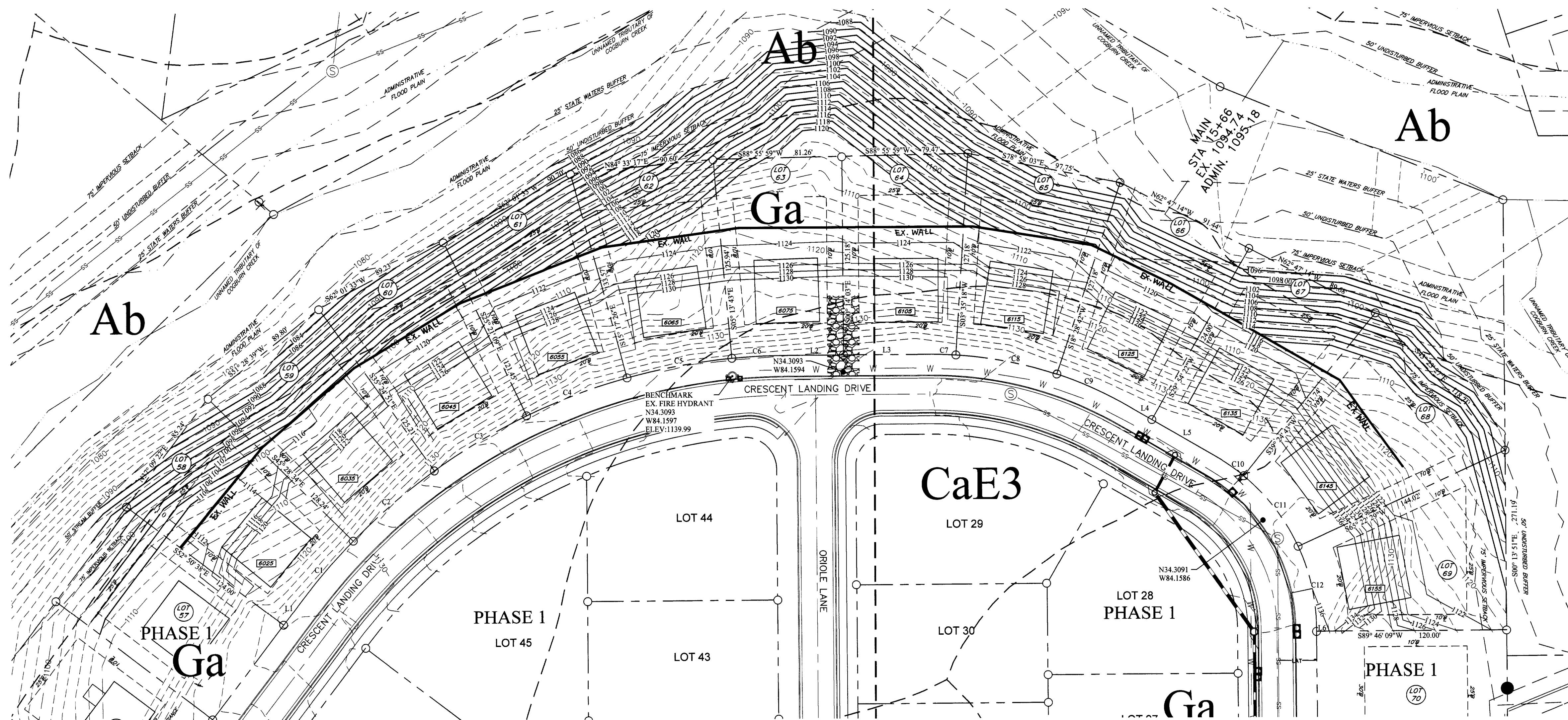
PRIMARY PERMITTEE / DEVELOPER

GRAND COMMUNITIES, L.T.D.
2675 PACES FERRY ROAD SE, STE 350
ATLANTA, GEORGIA 30339
(404) 220-9951

FIRM Panel Vignette^(NTS)

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF FORSYTH COUNTY (CITY OF CUMMING), GEORGIA PANEL # 13117C0045E, EFFECTIVE ON 9/19/2007

Forsyth County, Georgia (GA117)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Ab	Alluvial land, moderately well drained	0.30	11%
CaE3	Cecil clay loam, severely eroded moderately steep phase	0.32	12%
Ga	Gulled land, acid materials	2.13	77%
Totals for Area of Interest		2.755	100%



NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION (770) 781-2165

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

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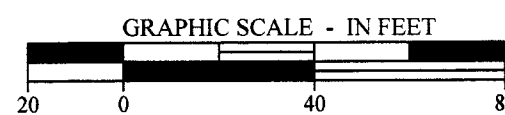
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TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET
BOUNDARY REFERENCE: PB 102, PG 249-269
FIELDWORK PERFORMED ON 9/30/2005

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,450 FEET

THIS PLAT HAS BEEN PREPARED USING A LEICA TC-800 TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 14,350 FEET, AND ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE



LEGEND:

- PROPERTY CORNER (FOUND AS NOTED)
- 1/2" REBAR WITH CAP SET LSPR-89
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- AC UNIT
- LIGHT POLE
- GREY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- W- WATER LINE
- U- OVERHEAD UTILITY LINE
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- T- TELEPHONE LINE
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- SF- SILT FENCE
- D- TREE PROTECTION
- H- HAY BALES
- F- FLOW WELL LINE
- N- NOW OR FORMERLY
- R- RIGHT-OF-WAY
- BSL- BUILDING SETBACK LINE
- CNTL- CANTILEVER
- C.R.Z- CRITICAL ROOT ZONE
- S.R.P- STRUCTURAL ROOT PLATE
- TYP- TYPICAL
- L.L- LAND LOT
- CONC- CONCRETE
- EOP- EDGE OF PAVEMENT
- F.F.E- FINISH FLOOR ELEVATION
- B.F.E- BASEMENT FLOOR ELEVATION
- G.F.E- GARAGE FLOOR ELEVATION
- 106.9- GROUND ELEVATION
- 108.69- SURFACE ELEVATION
- TW 1069.0- TOP OF WALL ELEVATION
- BW 1069.0- BOTTOM OF WALL ELEVATION
- TP 1069.0- TOP OF FOOTER ELEVATION
- SF- SILT FENCE
- DA- DRAINAGE ARROW

TREE LEGEND

- HARDWOOD TREE
- PINE TREE
- X TO BE REMOVED



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BUFORD, GEORGIA 30518

ATLANTA
235 PEACHTREE STREET NE, SUITE 400
ATLANTA, GEORGIA 30303

MARIETTA
1870 THE EXCHANGE, SUITE 100
MARIETTA, GA 30067

RALPH
2205-C CUNDIN DRIVE, APEX
NORTH CAROLINA 27523

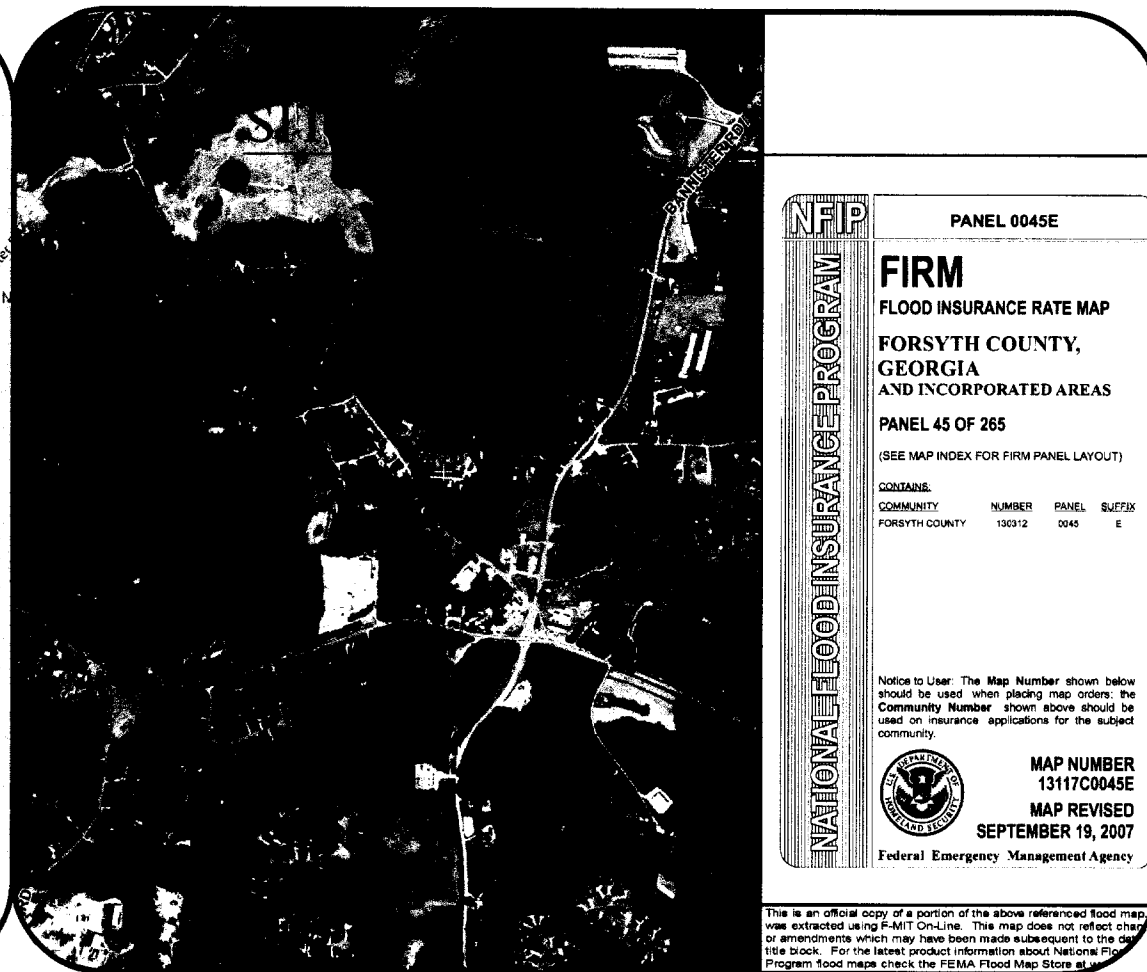
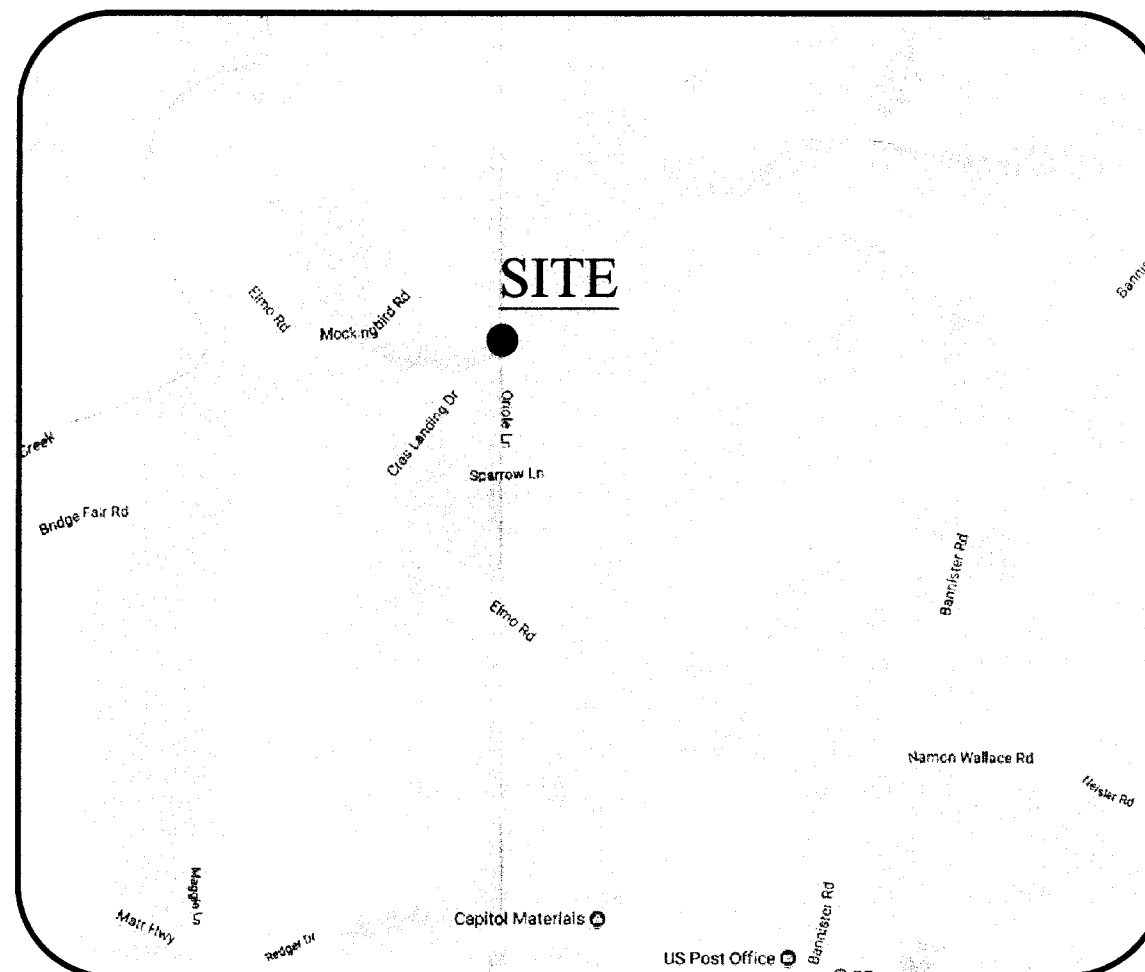
PROJECT
18686.50

SHEET
4 OF 8

LAND DISTURBANCE PLAN

PREPARED FOR: GRAND COMMUNITIES,
LOTS 58-69, CRESCENT LANDING SUBDIVISION
LAND LOT 266 & 267, 3RD DISTRICT, 1ST SECTION
CRESCENT LANDING
CUMMING, GEORGIA 30028
DATE 10/16/2018





GENERAL NOTES:

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- THIS PLAN HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION
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- FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT THIS SITE DOES NOT LIE WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF CITY OF CUMMING AS SHOWN ON PANEL # 13117C0045E, EFFECTIVE ON 9/19/2007
- PROJECT NARRATIVE:
SITE LOCATION:
CRESCENT LANDING
CUMMING, GEORGIA 30028

CLEAR AND GRUB SITE TO ASSESS EXISTING TOPOGRAPHY FOR FUTURE GRADING AND EROSION CONTROL NEEDS
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS ON OR WITHIN 200 FEET OF WATERS OF THE STATE

Sd1 STORAGE
DRAINAGE AREA: 139,884 SF = 3.211 AC
3.211 x 67 CY/AC = 215.1 CY
SD1-S STORAGE =
2,522 LF x 0.083 CY/LF = 209.3 CY

EROSION & SEDIMENT CONTROL PRACTICES

- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.

Vicinity Map (NTS)

FIRM Panel Vignette (NTS)

FLOOD HAZARD STATEMENT:
THIS IS TO CERTIFY THAT NO PORTION OF THIS SITE LIES WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD AREA AS SHOWN ON THE F.I.R.M. MAP OF FORSYTH COUNTY (CITY OF CUMMING), GEORGIA PANEL # 13117C0045E, EFFECTIVE ON 9/19/2007

EROSION CONTROL NOTES:

- ALL SILT FENCE SHALL BE TYPE S.
- THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OF TREAT THE SEDIMENT SOURCE.
- ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- ALL LOTS WITH 2FT OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND/OR PRIOR TO FOOTERS BEING POURED.
- LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT OF WAY.
- NO GRADED SLOPES SHALL EXCEED 2H:1V AND SHALL SLOPE AWAY FROM THE BUILDING.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT IDLE FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED AS NECESSARY.
- SILT FENCE SHALL MEET REQUIREMENTS OF SECTION 171 - TYPE S TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION.
- WORK HOURS AND CONSTRUCTION DELIVERIES ARE:
MONDAY - FRIDAY: 7:00AM - 7:00PM
SATURDAY: 8:00AM - 6:00PM
- ALL AREAS TO RECEIVE STRUCTURAL FILL TO BE CLEARED, STRIPPED AND FREE OF TOPSOIL, ROOTS, STUMPS, AND ALL OTHER DELETERIOUS MATERIAL. STRUCTURAL FILL TO BE CLEAN FROM ORGANICS AND ALL OTHER DELETERIOUS MATERIAL. FILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DENSITY AND TO WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT OR BY THE PROJECT GEOTECHNICAL ENGINEER. ALL FILL SOILS TO BE PLACED UNDER THE OBSERVATION OF THE PROJECT GEOTECHNICAL ENGINEER. DOCUMENTATION OF COMPACTION TESTING SHALL BE PROVIDED TO LAND DISTURBANCE ACTIVITY INSPECTOR FOR ALL ROADWAY CONSTRUCTION IN RIGHT-OF-WAY (INCLUDING DECELERATION LANES) CONTACT LAND DISTURBANCE ACTIVITY INSPECTOR PRIOR TO CONSTRUCTION FOR FURTHER TESTING REQUIREMENTS.
- FAILURE OF THE CONTRACTOR TO PERFORM THE PRESCRIBED EROSION CONTROL PRACTICES SHALL RESULT IN THE IMMEDIATE ISSUANCE OF A STOP WORK ORDER FOR THE PROJECT SITE, PURSUANT TO UDC 3.11.F.2.D.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ALL DISTURBED AREAS MUST BE VEGETATED WITHIN 14 DAYS OF FINAL GRADE.
- ALL FILL SLOPES SHALL HAVE SILT FENCE AT THE TOE OF THE SLOPE.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- THE CONTRACTOR SHALL REMOVE SEDIMENT ONCE IT HAS ACCUMULATED TO ONE-HALF THE ORIGINAL HEIGHT OF THE SILT FENCE USED FOR EROSION CONTROL.
- MAXIMUM CUT OR FILL SLOPES ARE 2 HORIZONTAL: 1 VERTICAL.
- ANY DISTURBED AREA LEFT EXPOSED FOR 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- THE CONSTRUCTION EXIT SHALL BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, (ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO ROADWAY OR INTO STORM DRAIN SYSTEM MUST BE REMOVED IMMEDIATELY BY SWEEPING).
- THE OWNER WILL MAINTAIN STORM WATER RUNOFF CONTROLS AT ALL TIMES. ADDITIONAL CONTROLS WILL BE INSTALLED IF DETERMINED NECESSARY BY COUNTY INSPECTION.
- IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.
- AT LEAST ONE PERSON ON A PROJECT OR SITE MUST HAVE COMPLETED THE LEVEL 1A EROSION EDUCATION & TRAINING COURSE AND BE CERTIFIED BY GSWCC.
- SUBCONTRACTORS MUST COMPLETE EITHER LEVEL 1A EROSION EDUCATION & TRAINING COURSE OR ATTEND SUBCONTRACTOR AWARENESS SEMINAR.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED DAILY, AT LEAST WEEKLY AFTER AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR AS NECESSARY. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE ISSUING AUTHORITY.
- DETAIL DRAWINGS FOR ALL STRUCTURAL PRACTICES, SPECIFICATIONS MUST, AT A MINIMUM, MEET THE STANDARDS SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
- DO NOT TRENCH IN SILT FENCE IN CRITICAL ROOT ZONE AREAS. PROVIDE STAKED HAY BALES AND/OR SAND BAGS INSTEAD OF TRENCHING.
- UNDISTURBED BUFFERS SHALL BE PLANTED TO BUFFER STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED DUE TO APPROVED UTILITY CROSSINGS. REPLANTING IS SUBJECT TO COUNTY ARBORIST APPROVAL. (DO NOT PLANT TREES WITHIN THE SANITARY SEWER EASEMENT).
- PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE FORSYTH COUNTY TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
- IF THE LANDSCAPE DESIGN AND PLANT MATERIAL ARE CHANGED FROM THE PERMITTED PLAN, THREE (3) SETS OF REVISED PLANS SHALL BE SUBMITTED TO THE FORSYTH COUNTY ARBORIST'S OFFICE FOR APPROVAL, PRIOR TO ANY LANDSCAPE INSTALLATION.
- ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAN FOR THAT PHASE, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO CONNECTION OF PERMANENT POWER FOR THAT PHASE. CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION.

SITE NOTES:

- PRIOR TO LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE SITE DEVELOPMENT INSPECTOR.
- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF FORSYTH COUNTY.
- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448 SIZE #1.
- NO GRADED SLOPES SHALL EXCEED 2H:1V.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY, NEED QUALIFIED CONTRACTOR PERMIT.
- AT ALL POINTS ALONG THE PUBLIC RIGHT OF WAY WHERE THE EXISTING CURB HEIGHT IS LESS THAN 5" INCHES HIGH, THE EXISTING CURB SHALL BE REMOVED AND REPLACED OR RESET TO MINIMUM FORSYTH COUNTY REQUIREMENTS AND THE SIDEWALK REPLACED.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION (770) 781-2165

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

THERE ARE NO SUBSTANTIAL CHANGES TO THE DRAINAGE BASINS OR IMPERVIOUS SURFACES FROM THE APPROVED PHASE 1 AS-BUILT STORMWATER REPORT

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

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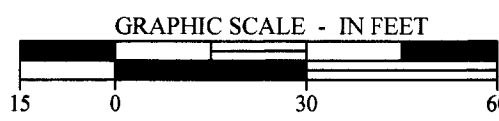
TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET

BOUNDARY REFERENCE: PB 102, PG 249-269
FIELDWORK PERFORMED ON 9/30/2005

THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 17,450 FEET

THIS PLAN HAS BEEN PREPARED USING A LEICA TC-800 TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 14,350 FEET, AND ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE



LEGEND:

- PROPERTY CORNER
- FOUND (AS NOTED)
- 1/2" REBAR WITH CAP
- SET BACK SIGN
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- A/C UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE
- TYPICAL
- LAND LOT

- CONC. CONCRETE
- EDGE OF PAVEMENT
- CONTOUR LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- TOP OF FOOTER ELEVATION
- SILT FENCE
- DRAINAGE ARROW

TREE LEGEND

- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED



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LANDSCAPE ARCHITECTURE
LAND PLANNING
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WWW.BOUNDARYZONE.COM • (770) 271-5772 • (919) 363-9226

BURFORD
1195 SOUTHWEST LEE STREET, SUITE 1
BURLINGTON, GEORGIA 30518

ATLANTA
255 EASTCHURCH STREET, SUITE 400
ATLANTA, GEORGIA 30303

MARIETTA
1870 THE EXCHANGE, SUITE 100
MARIETTA, GA 30067

RALEIGH
2254-C CANNON DRIVE, APEX
NORTH CAROLINA 27523

PROJECT
18686.50

SHEET
5 OF 8

LAND DISTURBANCE PLAN

PREPARED FOR: GRAND COMMUNITIES,
LOTS 58-69, CRESCENT LANDING SUBDIVISION
LAND LOT 266 & 267, 3RD DISTRICT, 1ST SECTION
CRESCENT LANDING
CUMMING, GEORGIA 30028
DATE 10/16/2018

NOT VALID WITHOUT ORIGINAL SIGNATURE

BOUNDARY ZONE, INC.
10/17/18
FOR THE FIRM
BOUNDARY ZONE, INC.

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

10/17/18
GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

HAZARDOUS WASTE NOTES:

1. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL STATE AND OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDSs) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTE THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE PRODUCTS ARE STORED AND/OR USED AND ANOTHER COPY OF THE MSDS WILL BE MAINTAINED IN THE ES&PC FILE AT THE JOBSITE CONSTRUCTION TRAILER OFFICE. (EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CLEANUP TECHNIQUES.
2. THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND IN THIS ES&PC AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ONSITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF SPCC PLAN.

SANITARY WASTE NOTES:

1. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS, AS NECESSARY, BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, OR AS REQUIRED BY LOCAL REGULATIONS, A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLIANCE WITH LOCAL AND STATE REGULATIONS.
2. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORMWATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPs MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIAL DESIGN PLASTIC SKID CONTAINERS AROUND THE BASE TO PREVENT WASTE FROM CONTRIBUTING TO STORMWATER DISCHARGES.

SPILL PREVENTION NOTES:

PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILLS AND SPILLS FROM DISCHARGING INTO STORM WATER RUNOFF.

GOOD HOUSEKEEPING:

1. QUANTITIES OF PRODUCTS STORE ONSITE WILL BE LIMITED TO THE AMOUNT NEEDED FOR THE JOB.
2. PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM RAINFALL, WHERE POSSIBLE.
3. PRODUCT WILL KEEP IN ORIGINAL CONTAINER WITH MANUFACTURER LABELS LEGIBLE AND VISIBLE.
4. PRODUCT MIXING, DISPOSAL AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
5. THE CONTRACTOR WILL INSPECT SUCH MATERIALS TO ENSURE PROPER USE, STORAGE AND DISPOSAL.

PRODUCT SPECIFIC PRACTICES:

PETROLEUM BASED PRODUCTS- CONTAINED (OR PRODUCTS SUCH AS FUEL, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTION AND REGULAR MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

PAINT/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURES SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING- NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE. THE WASH DOWN OF CONCRETE TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND REAR OF VEHICLES SHOULD ONLY BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

FERTILIZER/HERBICIDES- THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CORP ESTABLISHMENT OR IN THE GSWCC MANUAL AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

BUILDING MATERIALS- NO BUILDING MATERIALS OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

RETENTION OF RECORDS:

1. EACH TERTIARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A (N.O.T.) NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI:
- a. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD; AND
- b. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
- c. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.4.C. OF THIS PERMIT;
- d. A COPY OF ALL MONITORING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
- e. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.c OF THIS PERMIT; AND
- f. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT;
- g. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.4.c.(1)(C) OF THIS PERMIT.

SPILL CONTROL PRACTICES:

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

LOCAL, STATE, FEDERAL AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO ALL SITE PERSONNEL. SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE. THE 24-HOUR EMERGENCY CONTACT WILL BE THE SPILL PREVENTION CLEANUP COORDINATOR. HE WILL DESIGNATE AT LEAST THREE OTHER PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE ONSITE OFFICE TRAILER.

MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN ONSITE MATERIAL STORAGE AREA. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS DUSTPANS, MOPS, RAGS, GLOVES, GOOGLEES, CAT LITER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.

SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON THE SURFACE WATER). THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24-HOURS AT 1 (800) 424-8802. WWW.NRC.USCG.MIL

FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24-HOURS AT 1 (800) 424-8802. WWW.NRC.USCG.MIL

FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24-HOURS.

FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRES.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 360 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTER MEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

PRIMARY PERMITTEE

INSPECTIONS

1. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
2. MEASURE RAINFALL ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY UNTIL A NOTICE OF TERMINATION IS SUBMITTED. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
3. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE ; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION ; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
4. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS SUBMITTED TO EPD) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. THE PRIMARY PERMITTEE MUST AMEND THE PLAN IN ACCORDANCE WITH PART IV.D.4.B.(5). WHEN A SECONDARY PERMITTEE NOTIFIES THE PRIMARY PERMITTEE OF ANY PLAN DEFICIENCIES.
6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY AN INCIDENT, THE INSPECTION REPORT SHALL CONTAIN A STATEMENT THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

SAMPLE COLLECTION: SAMPLES WILL BE GRAB SAMPLES AND THE ANALYSIS OF THE SAMPLES WILL BE IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40CFR PART 136. SAMPLES WILL BE COLLECTED USING "NPDES STORM WATER SAMPLE GUIDANCE DOCUMENT, EPA 833-B-92-001" AS REFERENCED IN THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM PERMIT GENERAL PERMIT No. GAR100003.

1. SAMPLE BOTTLES WILL BE LABELED PRIOR TO COLLECTING SAMPLES.
2. SAMPLES WILL BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
3. LARGE MOUTH, CLEAN AND RINSED GLASS OR PLASTIC JARS WILL BE USED FOR COLLECTING SAMPLES. THE JARS WILL BE CLEANED FROM THE LABORATORY AND USED ONCE AND DISCARDED.
4. MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED USING A DIRECT READING, PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
5. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

OTHER NOTES:

- a. THERE ARE NO WATERS OF THE STATE ON OR WITHIN 200 FEET OF SUBJECT SITE.
- b. DETERMINATION OF DISCHARGE INTO IMPAIRED STREAM OR WITHIN 1 LINEAL MILE UPSTREAM OF WATERSHED NOT APPLICABLE.
- c. TERTIARY PERMITTEES ARE NOT REQUIRED TO SAMPLE IF LESS THAN 5 ACRES DISTURBED.
- d. RECEIVING WATERS FOR SUBJECT SITE IS EXISTING STORMWATER FOR SUBDIVISION, WHICH DISCHARGES INTO TRIBUTARIES OF CHATTAHOOCHEE RIVER
- e. HYDROLOGY STUDY PREPARED AT THE TIME OF SUBDIVISION LAND DISTURBANCE PLAN AND FINAL PLAT AS-BUILTS, RECORDED AS PER SHEET 1.
- f. ALL NON-EXEMPT ACTIVITIES (UNLESS PERMIT OR VARIANCE ACQUIRED FIRST) SHALL NOT BE CONDUCTED WITHIN ANY STATE WATERS 25' OR 50' BUFFERS, AS MEASURED FROM WRESTED VEGETATION.
- g. CONCRETE CLEANUP OR WASHOUT OF ANY KIND IS PROHIBITED ON SUBJECT SITE. USE APPROVED CONCRETE WASHOUT AREAS.
- h. DUST CONTROL IS REQUIRED BY USE OF WATER TRUCK OR IRRIGATION.
- i. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION OF COUNTY/LIA.
- j. AMENDMENTS AND/OR REVISIONS TO THE EROSION AND SEDIMENT CONTROL PLAN THAT HAVE SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE REVIEWED AND CERTIFIED BY DESIGN PROFESSIONAL.
- k. THERE ARE NO BUFFER ENCROACHMENTS, THEREFORE, NO VARIANCES ARE NEEDED.

"THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION." "NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS." "AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL." "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT." "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES." "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE." ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING."

SITE NARRATIVE
THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN HAS BEEN PREPARED FOR MASS GRADING FOR THE FUTURE CONSTRUCTION OF SINGLE FAMILY DWELLINGS. THE SUBJECT IS LOCATED WITHIN AN APPROVED SUBDIVISION WITH A N.O.T. FILED AND IS NOW UNDER TERTIARY PERMITTEE. THE USE OF SD1-C SILT FENCE, Co (CONSTRUCTION EXIT) AND VEGETATIVE MEASURES ARE TO BE INSTALLED AS SHOWN OR DEEMED NECESSARY FOR PROTECTION.

I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of Best Management Practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of Best Management Practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100003.

"I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for the monitoring of: (a) all perennial and intermittent streams and other water bodies shown on the USGS topographic map and all other field verified perennial and intermittent streams and other water bodies, or (b) where any such specific identified perennial or intermittent stream and other water body is not proposed to be sampled, I have determined in my professional judgment, utilizing the factors required in the General NPDES Permit No. GAR 100003, that the increase in the turbidity of each specific identified sampled receiving g water will be representative of the increase in the turbidity of a specific identified un-sampled receiving water."

10/17/18
LEVEL II DESIGN PROFESSIONAL No. 13699

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

10/17/18
GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL # 13699

NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION (770) 781-2165

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TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET

BOUNDARY REFERENCE: PB 100, PG. 240-269 FIELDWORK PERFORMED ON 30/02/2005

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,450 FEET

THIS PLAT HAS BEEN PREPARED USING A LEICA TC-800 TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 14,350 FEET, AND ANGULAR ERROR OF SIX SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE

LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- RW MONUMENT
- ▲ FIRE HYDRANT
- ⊗ WATER METER
- ⊕ WATER VALVE
- ⊙ POWER POLE
- ⊕ GAS METER
- ⊕ GAS VALVE
- CABLE BOX
- POWER METER
- POWER BOX
- AC UNIT
- ⊖ LIGHT POLE
- ⊖ GUY WIRE
- ⊖ MANHOLE
- ⊖ TELEPHONE LINE
- ⊖ GAS METER
- ⊖ GAS VALVE
- ⊖ CABLE BOX
- TELEPHONE BOX
- W— WATER LINE
- U— OVERHEAD UTILITY LINE
- S— SEWER LINE
- G— GAS LINE
- C— CABLE LINE
- CRZ— CRITICAL ROOT ZONE
- X— FENCE LINE
- SF— SILT FENCE
- O— TREE PROTECTION
- HB— HAY BALES
- FW— FLOW WELL LINE
- NF— NOW OR FORMERLY
- RW— RIGHT-OF-WAY
- BSL BUILDING SETBACK LINE
- CNTL. CANTILEVER
- S.R.P. STRUCTURAL ROOT PLATE (TYP.)
- L.L. LAND LOT
- CONC. CONCRETE
- EOP. EDGE OF PAVEMENT
- F.F.E. FINISH FLOOR ELEVATION
- B.F.E. BASEMENT FLOOR ELEVATION
- G.F.E. GARAGE FLOOR ELEVATION
- 1008.66 GROUND ELEVATION
- 1008.66 SURFACE ELEVATION
- TW-1069.0 TOP OF WALL ELEVATION
- BW-1069.0 BOTTOM OF WALL ELEVATION

TREE LEGEND

- TOP OF FOOTER ELEVATION
- SILT FENCE
- DRAINAGE ARROW
- HARDWOOD TREE
- PINE TREE
- X TO BE REMOVED



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4195 SOUTH LEE STREET, SUITE 1
BUFFORD, GEORGIA 30018

ATLANTA
1100 PEACHTREE STREET NE, SUITE 200
ATLANTA, GEORGIA 30309

KENNESAW
875 COBB PLACE BLVD, SUITE 101
KENNESAW, GEORGIA 30144

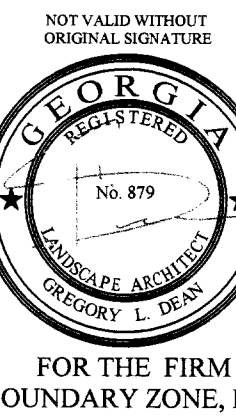
RALEIGH
804 GLENWOOD AVENUE, SUITE 109
RALEIGH, NORTH CAROLINA 27602

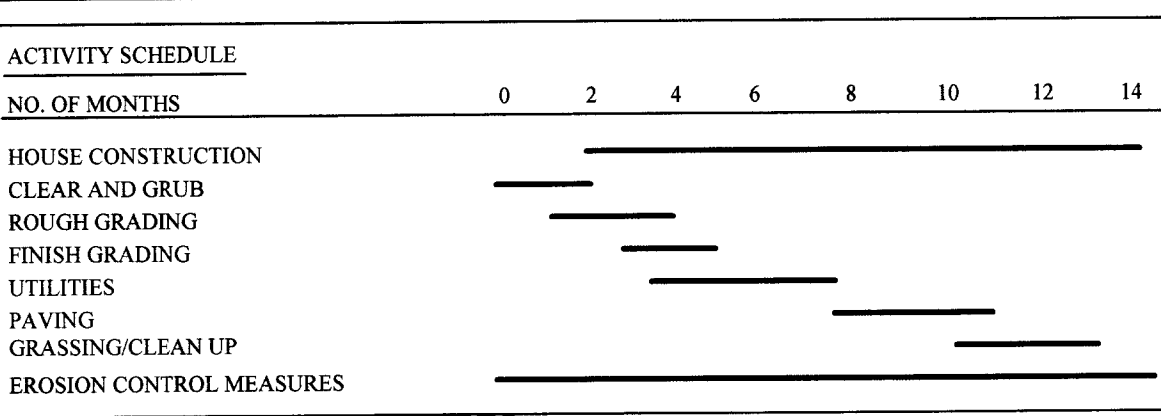
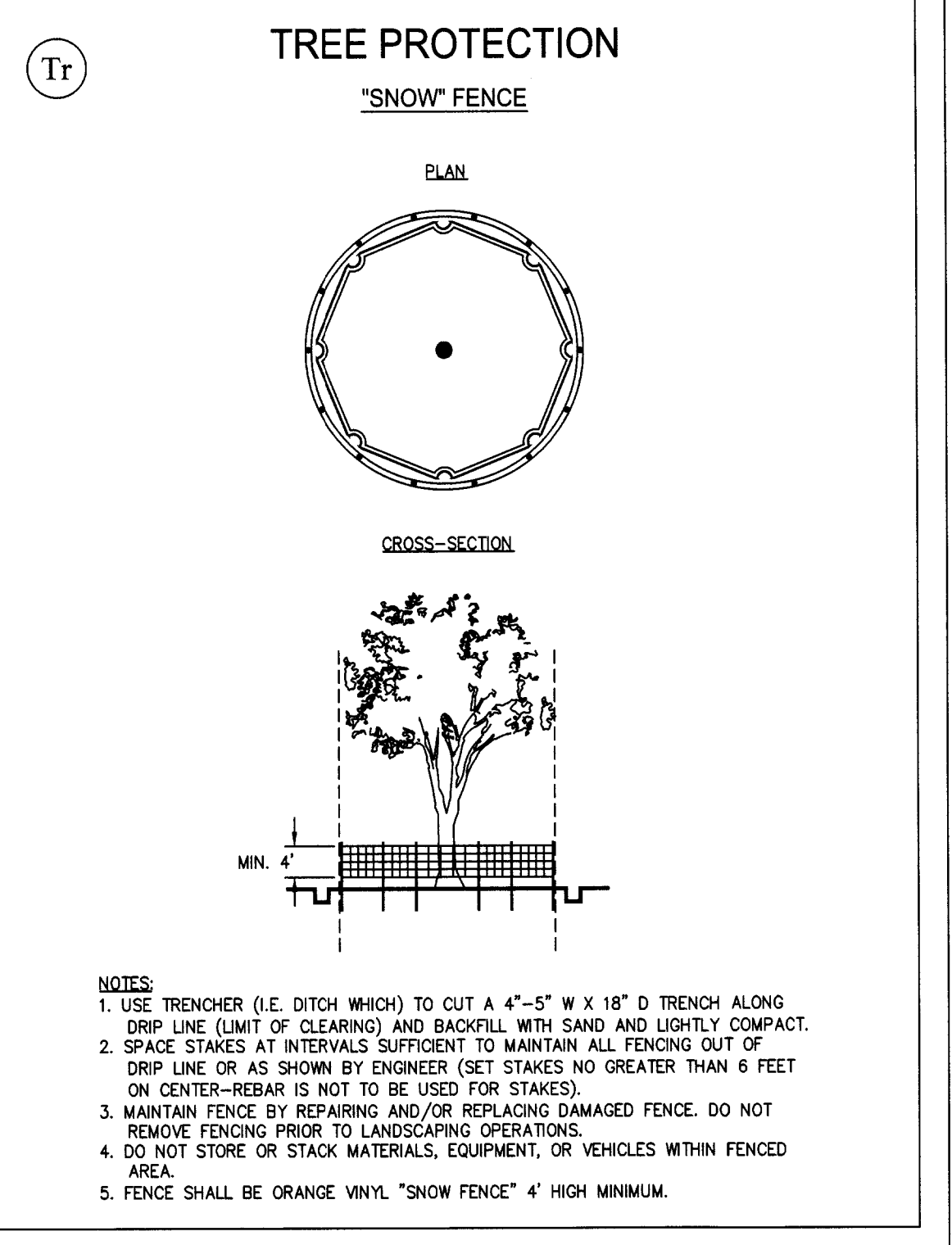
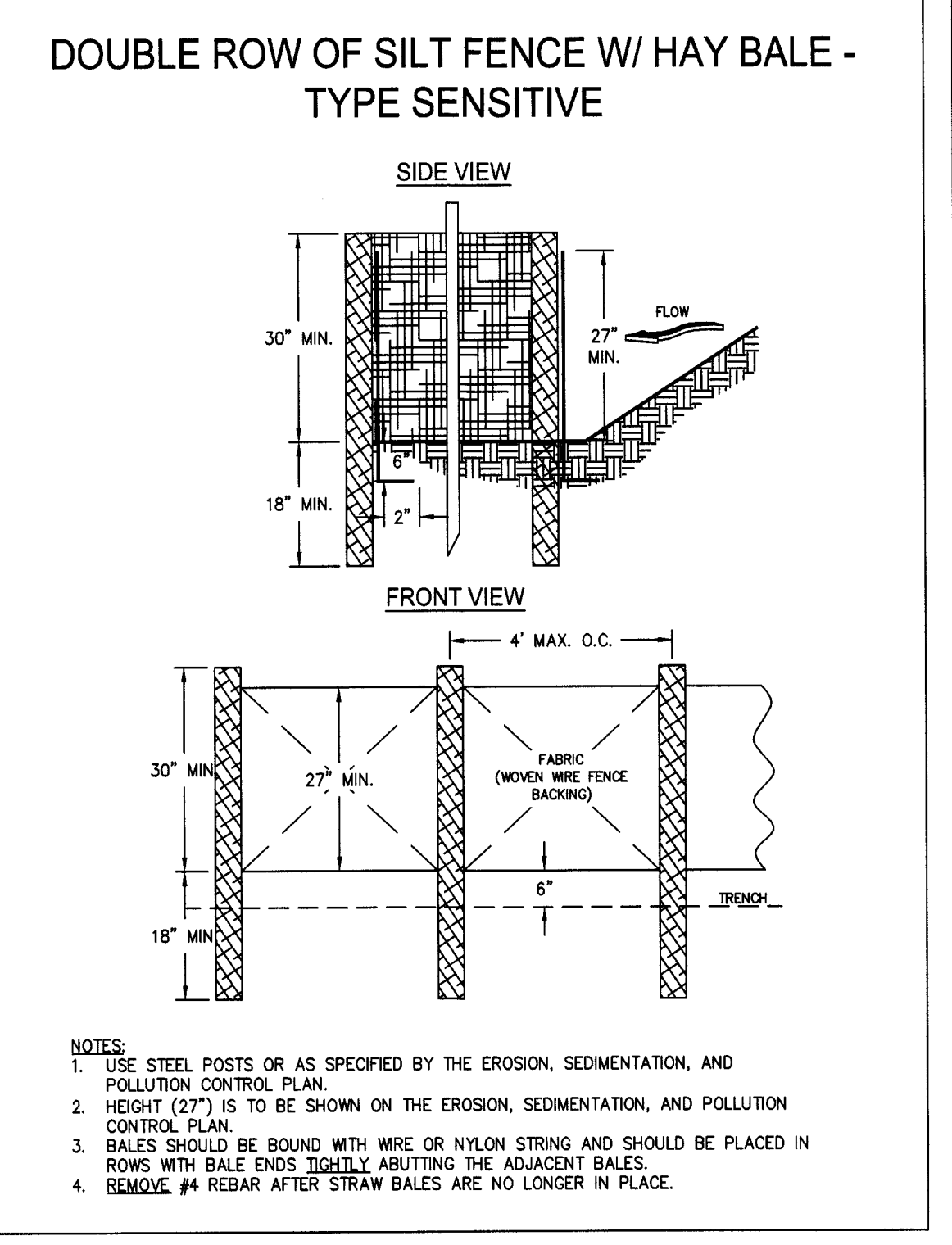
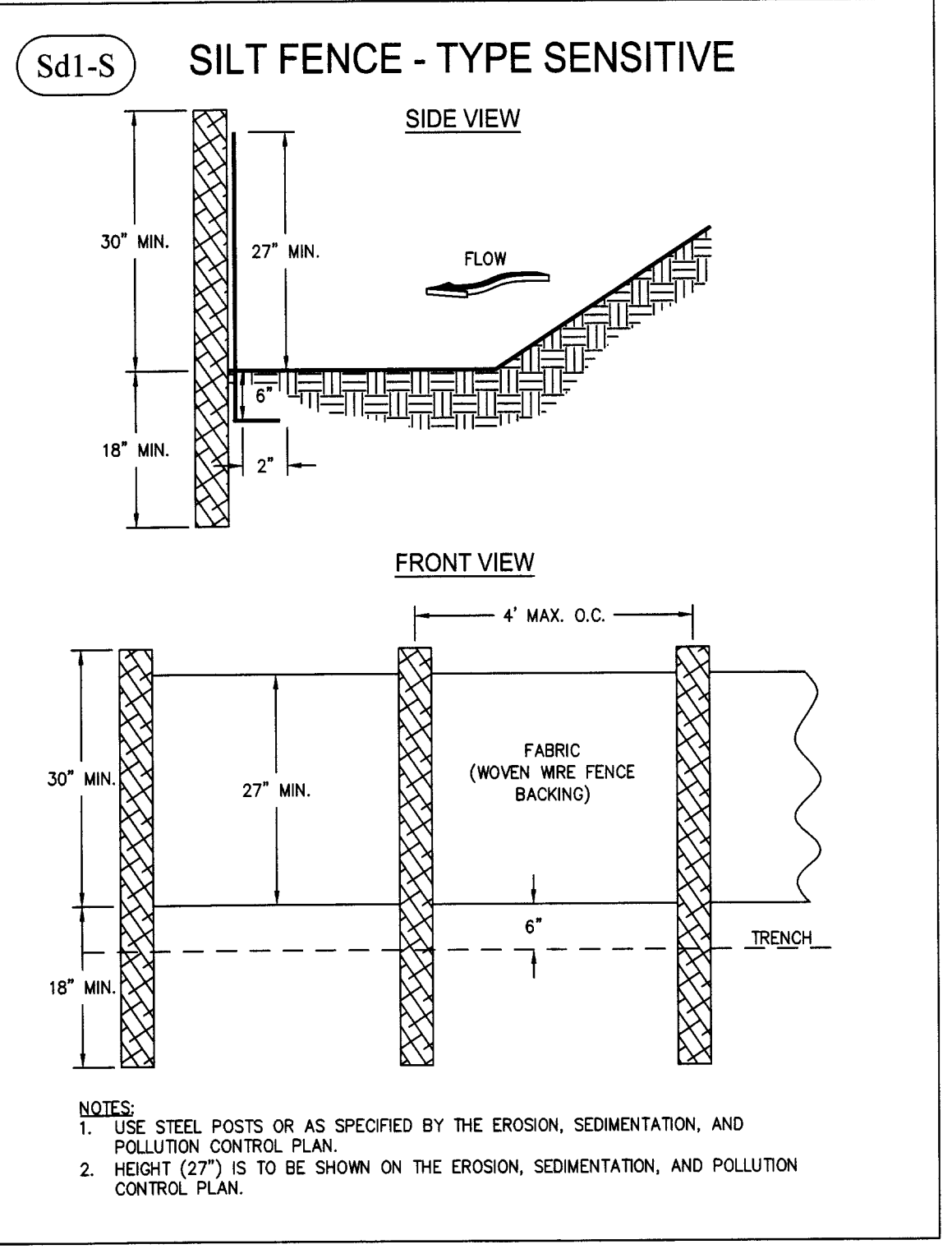
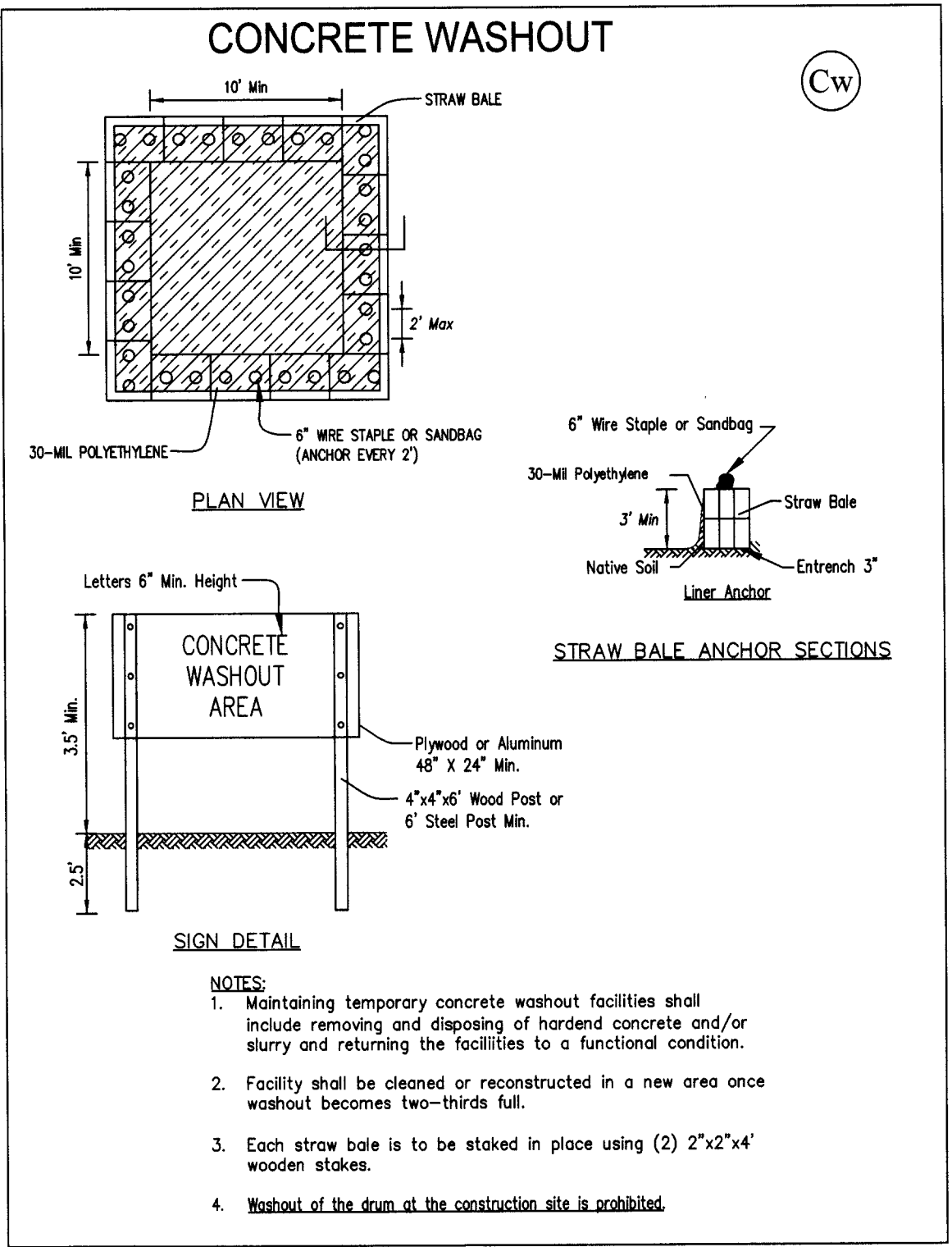
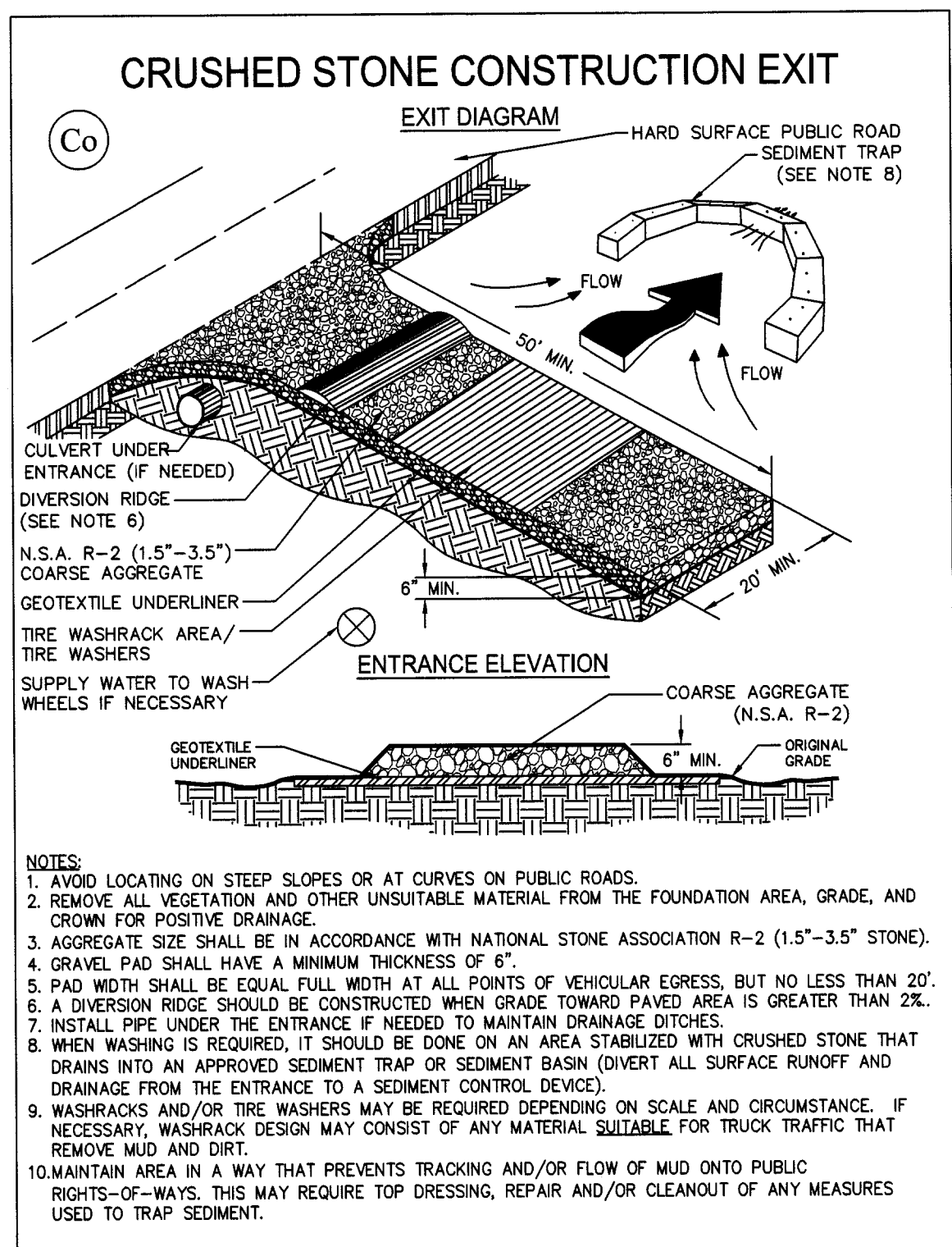
PROJECT
18686.50

SHEET
7 OF 8

NOTES

PREPARED FOR: GRAND COMMUNITIES,
LOTS 58-69, CRESCENT LANDING SUBDIVISION
LAND LOT 266 & 267, 3RD DISTRICT, 1ST SECTION
CRESCENT LANDING
CUMMING, GEORGIA 30028
DATE 10/16/2018



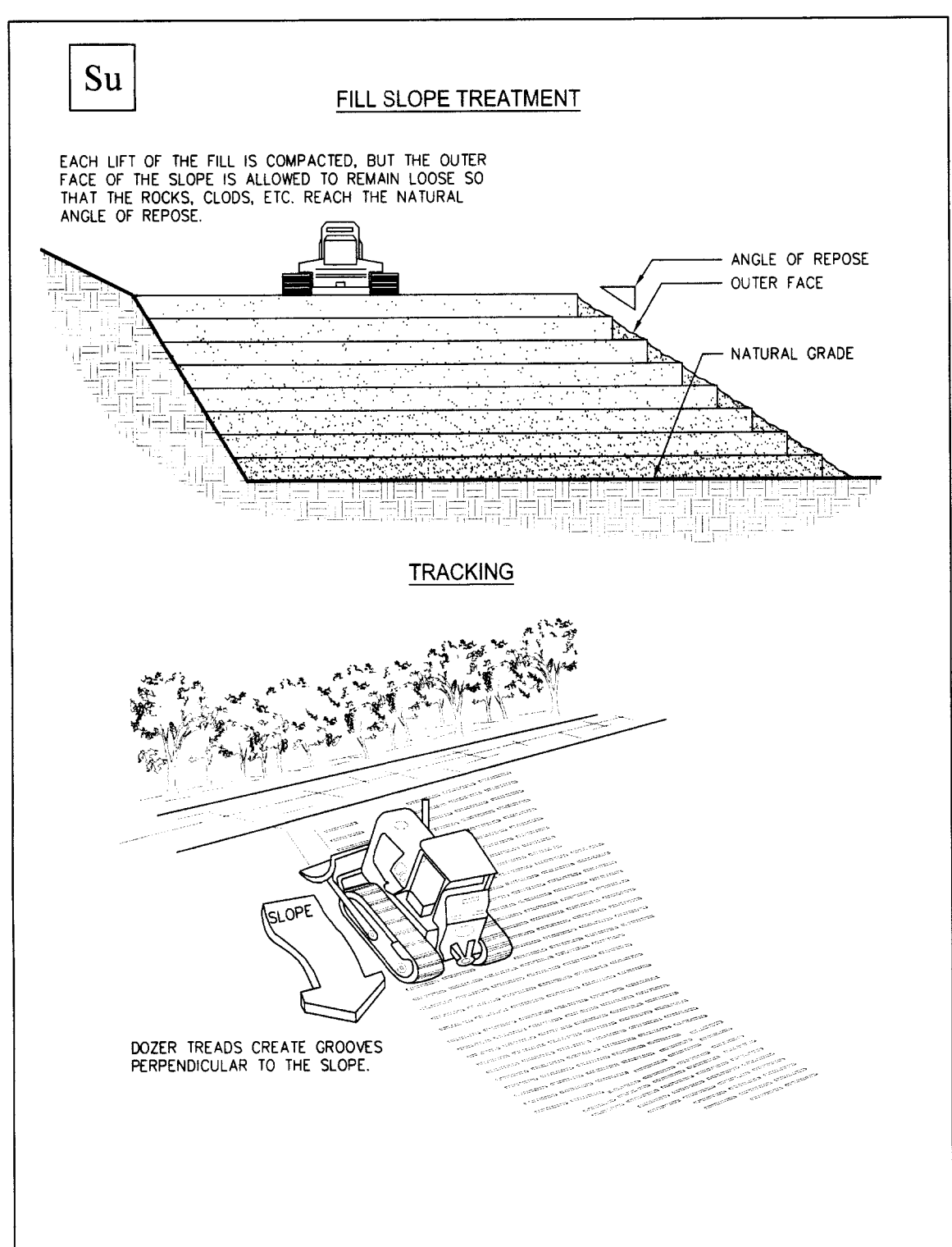


EROSION CONTROL MEASURES:

PHASE 1 INSTALL ALL EROSION CONTROL MEASURES

PHASE 2 MAINTAIN AND REPAIR EXISTING EROSION CONTROL MEASURES

PHASE 3 REMOVE TEMPORARY EROSION CONTROL MEASURES



Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

DEFINITION

Applying plant residues or other suitable materials, produced on the site if possible, to the soil surface.

PURPOSE

- To reduce runoff and erosion
- To conserve moisture
- To prevent surface compaction or crusting
- To control undesirable vegetation
- To modify soil temperature
- To increase biological activity in the soil

REQUIREMENT FOR REGULATORY COMPLIANCE

Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a singular erosion control device for up to six months, but it shall be applied at the appropriate depth, depending on the material used, anchored and have a continuous 90% cover or greater of the soil surface.

Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months.

If any area will remain undisturbed for greater than six months, permanent vegetative techniques shall be employed. Refer to **Ds2 - Disturbed Area Stabilization (With Temporary Seeding)**, **Ds3 - Disturbed Area Stabilization (With Permanent Seeding)**, and **Ds4 - Disturbed Area Stabilization (With Sodding)**.

SPECIFICATIONS

Mulching Without Seeding

This standard applies to graded or cleared areas where seedlings may not have a suitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover.

Site Preparation

1. Grade to permit the use of equipment for applying and anchoring mulch.
2. Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.
3. Loosen compact soil to a minimum depth of 3 inches.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

DEFINITION

The establishment of temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.

CONDITIONS

Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization. Most types of temporary vegetation are ideal to use as companion crops until the permanent vegetation is established.

SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
RYE	3.9 POUNDS	3 BU.	9/1 - 3/1
RYEGRASS	0.9 POUNDS	40 LBS.	8/15 - 4/1
ANNUAL LESPEDEZA	0.9 POUNDS	40 LBS.	1/15 - 3/15
WEEPING LOVEGRASS	0.1 POUNDS	4 LBS.	2/15 - 6/15
SUDANGRASS	1.4 POUNDS	60 LBS.	3/1 - 8/1
BROWNTOP MILLET	0.9 POUNDS	40 LBS.	4/1 - 7/15
WHEAT	4.1 POUNDS	3 BU.	9/15 - 2/1

* Unusual site conditions may require heavier seeding rates

** Seeding dates may need to be altered to fit temperture variations and conditions.

SPECIFICATIONS

GRADING AND SHAPING

Excessive water run-off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, diversions, sediment barriers and others. No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.

SEEDBED PREPARATION

When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or handseeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall. When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarified to provide a place for seed to lodge and germinate.

LIME AND FERTILIZER

Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before land preparation and incorporated with a disk, ripper or chisel.

SEEDING

Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or cultipacker seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Soil should be "raked" lightly to cover seed with soil if seeded by hand.

MULCHING

Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to **Ds1 - Disturbed Area Stabilization (With Mulching Only)**.

IRRIGATION

During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly wetted to a depth that will insure germination of the seed. Subsequent applications should be made when needed.

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TOTAL AREA: 28.0355 ACRES / 1,221,226 SQUARE FEET

BOUNDARY REFERENCE: PB 102, PG 249-269 FIELDWORK PERFORMED ON 9/30/2005

THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 117,450 FEET

THIS PLAN HAS BEEN PREPARED USING A LEICA TC-800 TOTAL STATION

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 14,350 FEET, AND ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE

LEGEND:

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSP# 839
- R/W MONUMENT
- ▲ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ POWER POLE
- ⊕ YARD DRAINS
- △ SIGN
- ⊕ POWER METER
- ⊕ POWER BOX
- ⊕ AC UNIT
- ⊕ LIGHT POLE
- ⊕ GUY WIRE
- ⊕ MANHOLE
- ⊕ CLEAN OUT
- ⊕ GAS METER
- ⊕ GAS VALVE
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- BSL— BUILDING SETBACK LINE
- CNTL— CANTILEVER
- CRZ— CRITICAL ROOT ZONE
- X— FENCE LINE
- TYP— TYPICAL
- L.L.— LAND LOT
- CONC— CONCRETE
- EOP— EDGE OF PAVEMENT
- C— CONTOUR LINE
- F.F.E.— FINISH FLOOR ELEVATION
- B.F.E.— BASEMENT FLOOR ELEVATION
- G.F.E.— GARAGE FLOOR ELEVATION
- 1066.9— GROUND ELEVATION
- 1068.9— SURFACE ELEVATION
- TW-1069.0— TOP OF WALL ELEVATION
- BW-1069.0— BOTTOM OF WALL ELEVATION
- TF-1069.0— TOP OF FOOTER ELEVATION
- SF— SILT FENCE
- D— DRAINAGE ARROW

TREE LEGEND

- ⊕ HARDWOOD TREE
- ⊕ PINE TREE
- X TO BE REMOVED

811

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PROJECT

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SHEET

8 OF 8

DETAILS

PREPARED FOR: GRAND COMMUNITIES, LOTS 58-69, CRESCENT LANDING SUBDIVISION, LAND LOT 266 & 267, 3RD DISTRICT, 1ST SECTION, CRESCENT LANDING, CUMMING, GEORGIA 30028

DATE 10/16/2018

NOT VALID WITHOUT ORIGINAL SIGNATURE

10/17/18

FOR THE FIRM BOUNDARY ZONE, INC.

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

10/17/18

GREGORY L. DEAN, LEVEL II DESIGN PROFESSIONAL, # 13699